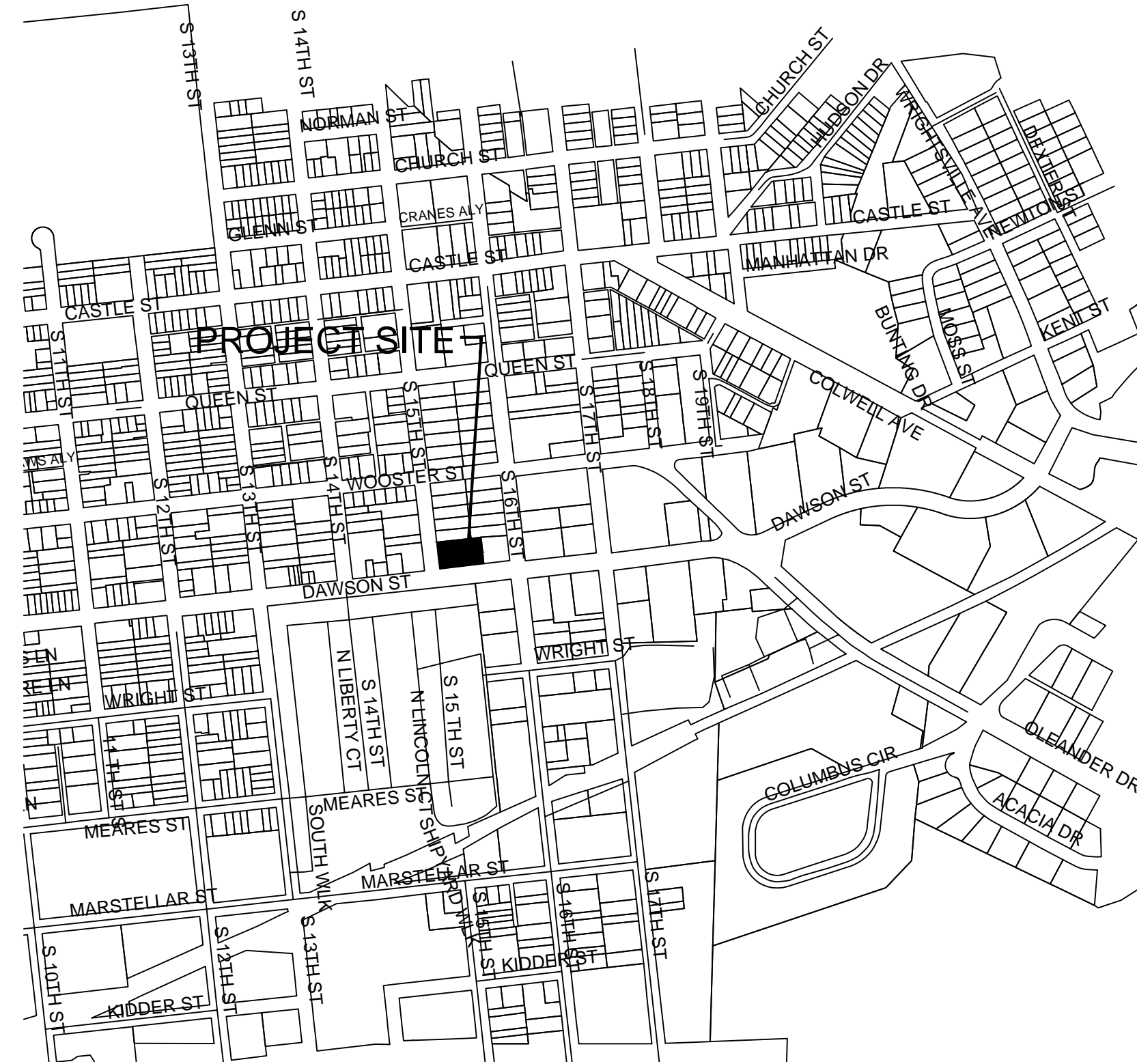
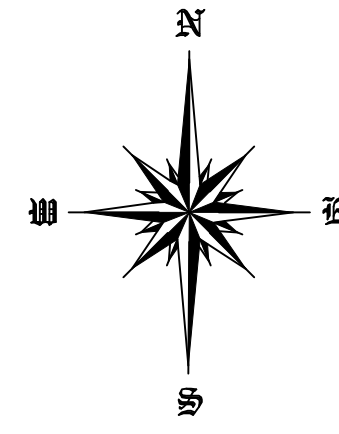


SITE CONSTRUCTION PLANS WILMINGTON WASH HOUSE

1507 DAWSON STREET
WILMINGTON, NC 28403

NOTES

1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING (IF REQUIRED) WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION.
2. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS OCCUR IN THOSE AREAS.
3. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
5. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET SIGN NAMES.
6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS AND BE MAINTAINED BY THE OWNER.
7. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
8. TRAFFIC ENGINEERING TO BE NOTIFIED AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
9. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREAS SHALL BE WHITE. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
11. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
12. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
13. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEEL CHAIR RAMPS.
14. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
15. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
16. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
17. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY DETAILS AND SPECIFICATIONS.
18. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
19. IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST SUPPLY A RPZ BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
20. ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA SHALL COMPLY WITH THE CFPWA CROSS CONNECTION REGULATIONS.
21. ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZE SENSOR.
22. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCCR OR ASSE.
23. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF CONFLICTS.
24. AN ALL WEATHER DRIVING SURFACE FOR EMERGENCY VEHICLES MUST BE MAINTAINED DURING CONSTRUCTION.
25. UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT/DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
26. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (TEN) FEET ABOVE THE GROUND WITHIN THE TRIANGLE SIGHT DISTANCE.
27. CONTRACTOR IS TO NOTIFY (AT A MINIMUM) THE FOLLOWING COMPANIES FOR LOCATION SERVICES:
ULOGO1-800-632-4949, 48 HOURS IN ADVANCE
BELL SOUTH.....1-800-392-8712 (STEVE DAYVAULT)
CAROLINA ONE CALL CENTER 1-800-632-4949
28. THERE SHALL BE NO ENCUMBRANCES WITHIN THE NCDOT RIGHT OF WAY.
29. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT (SD 15-14 C&PW TECH STDS).
30. FIRE HYDRANTS CANNOT BE FURTHER THAN 8' FROM THE CURB.
31. PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OF FDC'S
32. FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT
33. FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT
34. BICYCLE PARKING IS PROVIDED ON THE SOUTHWEST CORNER OF PROPOSED BUILDING
35. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.



SCALE 1" = 600'
VICINITY MAP
APRIL, 2018

Approved Construction Plan	
Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

 CITY OF WILMINGTON NORTH CAROLINA Public Services • Engineering Division APPROVED DRAINAGE PLAN	
Date: _____	Permit # _____
Signed: _____	

LIST OF DRAWINGS

XX	COVER SHEET
C1	EXISTING SITE & DEMO PLAN
C2	SITE PLAN
C3	GRADING, DRAINAGE & EROSION CONTROL
C4	DETAILS
C5	LANDSCAPE PLAN
C6	NCDOT DRIVEWAY PERMIT PLAN
WSD-1	WATER DETAILS

OWNER/DEVELOPER
MR. RODNEY WILLIFORD
RKW PROPERTIES, LLC
7986 HWY 11 BUSINESS
BETHEL, NC 27812
1-252-714-5838

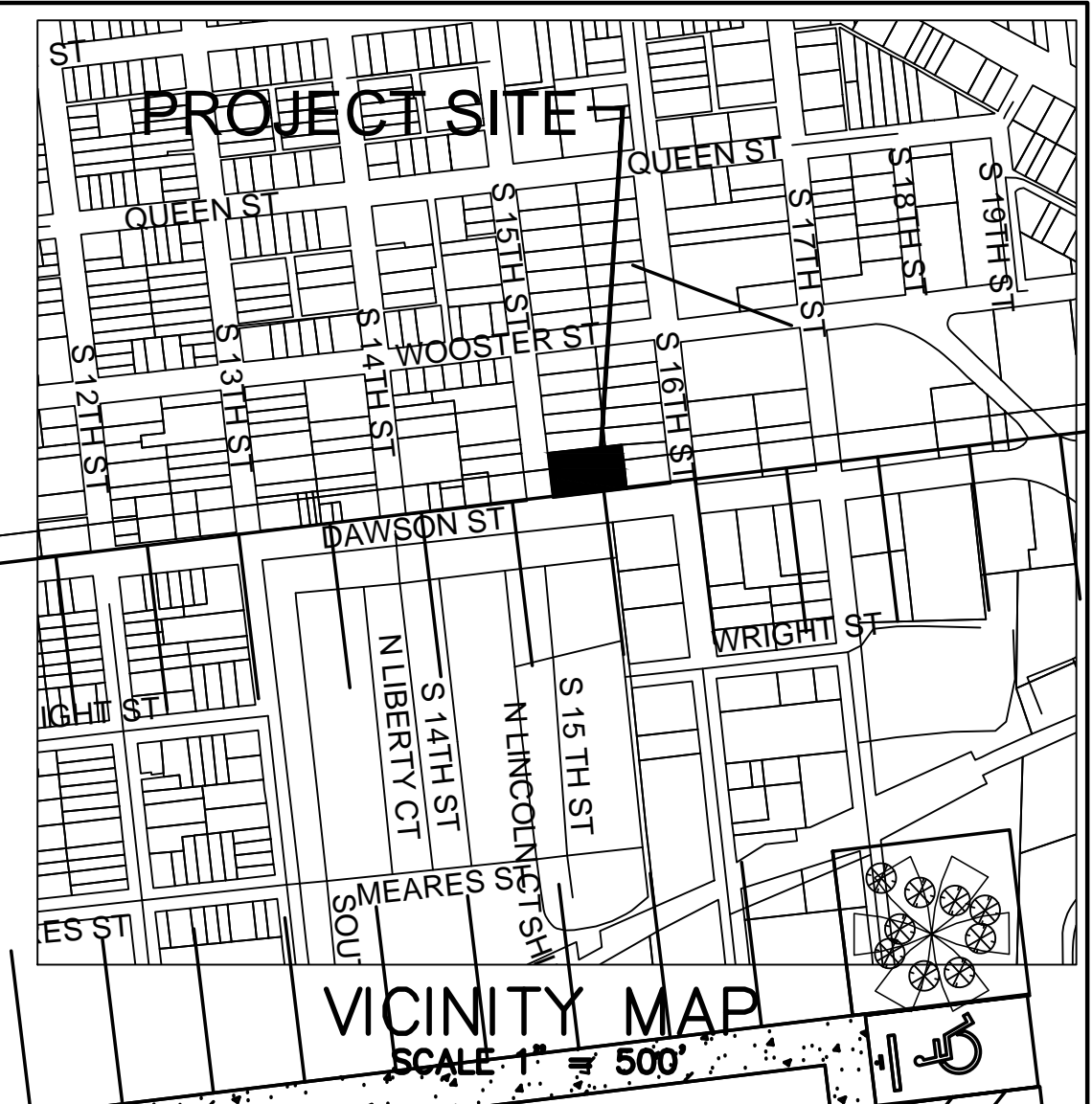
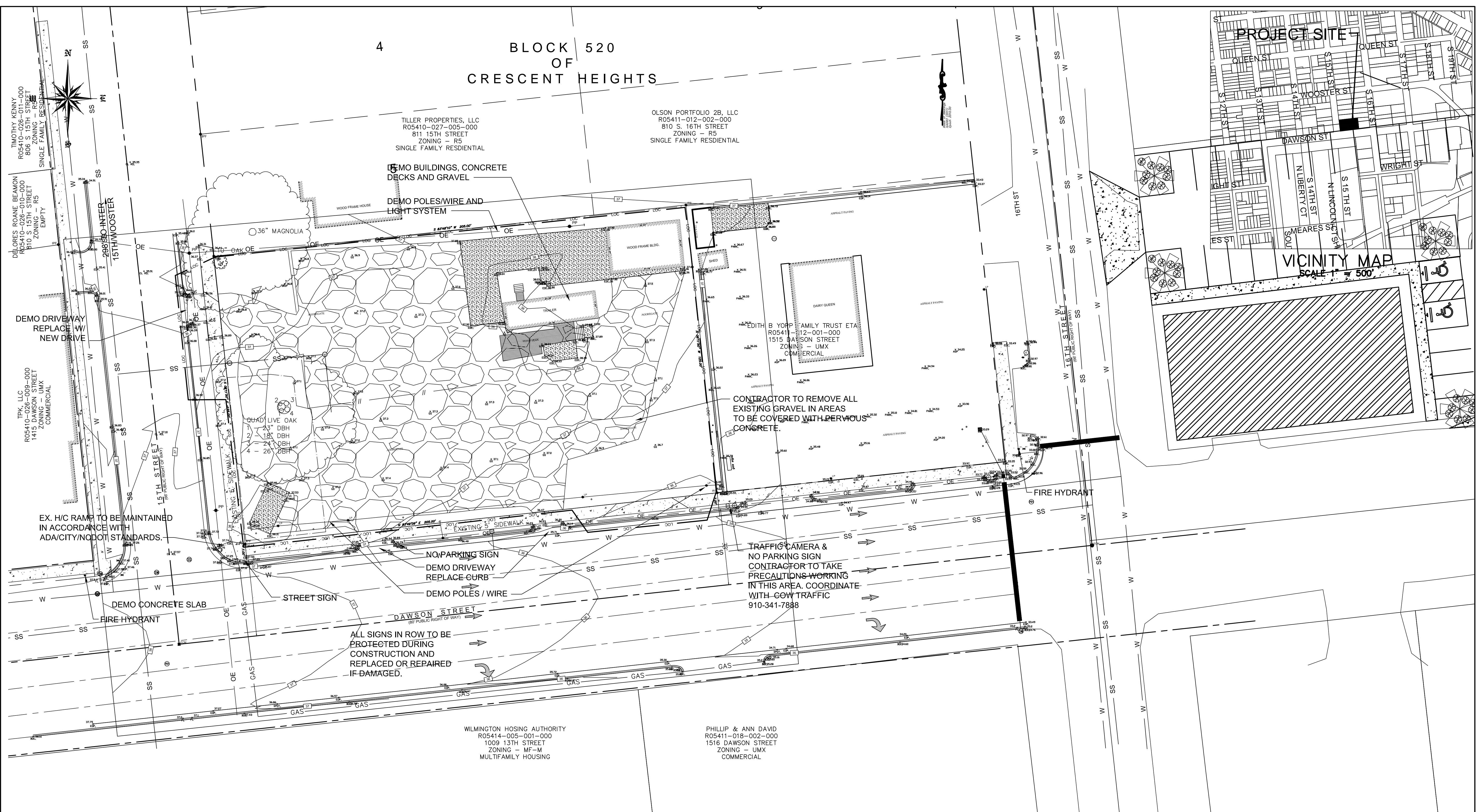
CIVIL ENGINEER
JBS CONSULTING, PA
BRAD SEDGWICK, PE
7332 COTESWORTH DRIVE
WILMINGTON, NC 28405
1-910-619-9990
bradsedgwick@hotmail.com

SURVEYOR
GEOINNOVATION, PC
MR. DEAN EXLINE, PLS
311 JUDGES ROAD
SUITE 3D
WILMINGTON, NC 28405
1-910-367-2110
dexline@gisspc.com

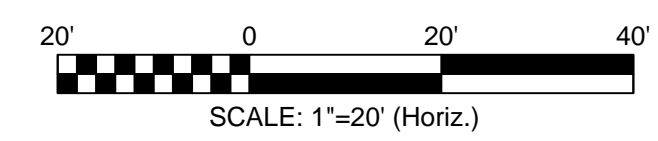
GENERAL CONTRACTOR
TMC TAYLOR
MR. GREG TAYLOR
1406 CASTLE HAYNE ROAD
WILMINGTON, NC 28401
910-251-1181



4 BLOCK 520 OF CRESCENT HEIGHTS



EXISTING SITE
SCALE 1" = 20'



LEGEND

EXISTING GRAVEL PAVEMENT	
CONC. PAVEMENT	
PERVIOUS CONCRETE	
PROPOSED SPOT ELEVATION	
EXISTING SPOT ELEVATION	
WAVE STYLE BIKE RACK	
TREE PROTECTION FENCING SEE DETAIL	
BUILDING GUTTER & DOWN SPOUT SYSTEM - SURFACE DISCHARGE TOWARD PAVEMENT	

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
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Approved Construction Plan

Name	Date

Planning: _____
Traffic: _____
Fire: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

REVISION	DATE	DESCRIPTION

DESIGN BY: BDS
DRAWN BY: BDS
CHECKED BY: BDS
DATE: APRIL, 2018

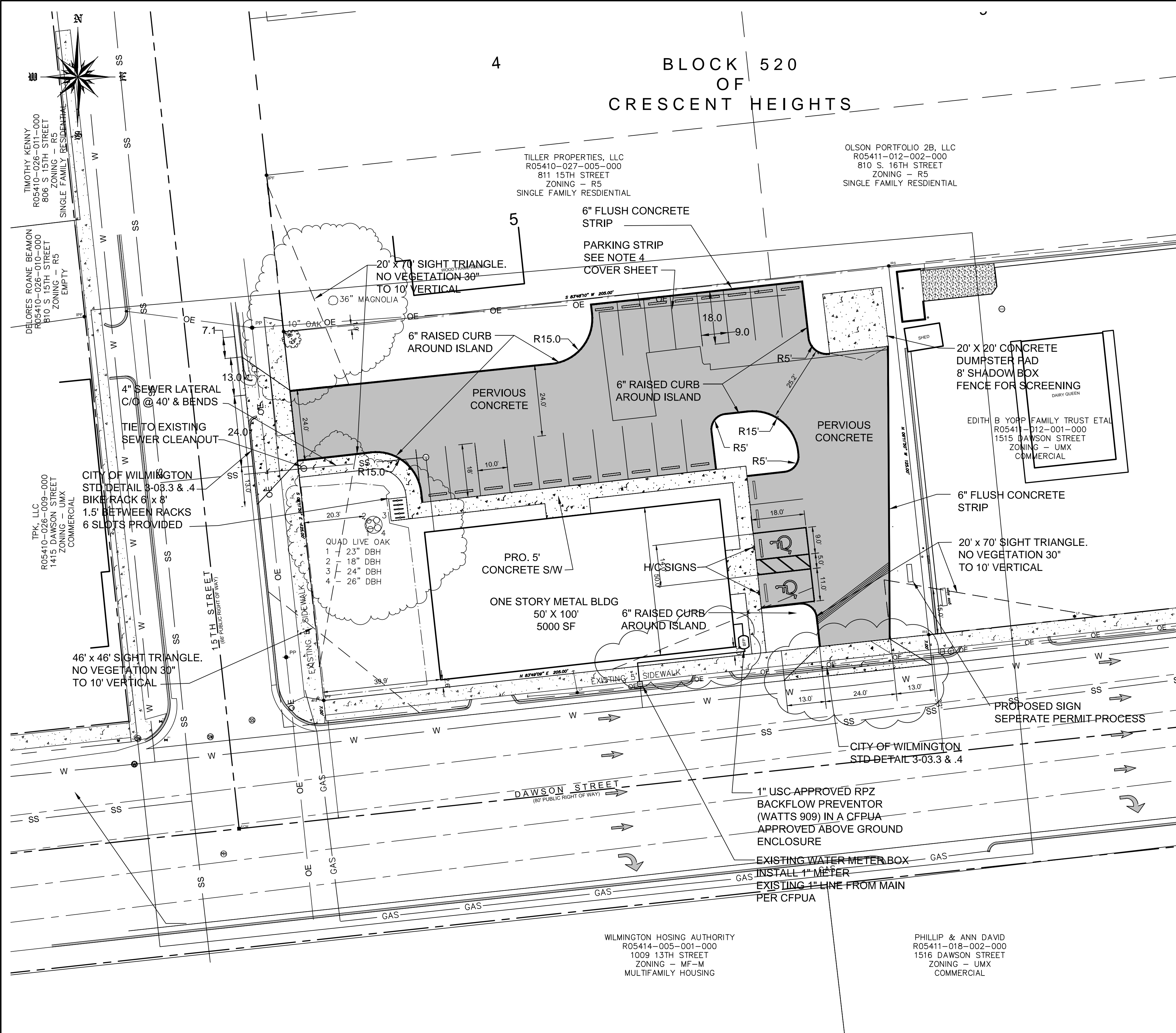
EXISTING SITE & DEMO PLAN
1507 DAWSON STREET
WILMINGTON, NC

OWNER/DEVELOPER
MR. RODNEY WILLIFORD
RK W PROPERTIES, LLC
7986 HWY 11 BUSINESS
BETHEL, NC 27812
1-252-714-5838

CONSULTING, PA
7332 Colesworth Drive
Wilmington, NC 28405
(910) 619-9990
LICENSE NUMBER C2523
PLANNING - ENGINEERING - CONSTRUCTION MANAGEMENT

JBS

SHEET
C1
of X
JOB NO. 032-025



SITE DATA

ADDRESS 1507 DAWSON ST
WILMINGTON, NC
 PARCEL ID NUMBERS R05410-027-006-000
 DEED BOOK & PAGE D.B. 6133 PG. 510
 MAP BOOK & PAGE MB N/A PG. N/A
 ZONING UMX - URBAN MIXED USE
CITY OF WILMINGTON
 TOTAL LOT AREA +/- 25,625 SF/0.59ACRES
 CAMA LAND USE CLASSIFICATION .. URBAN
 SPECIAL OVERLAY DISTRICT.....NONE
 PROPOSED USE.....LAUNDRY MAT
 NUMBER OF BUILDINGS 1 PROPOSED
 BUILDING SQUARE FOOTAGE..... 5,000 SF
 CONSTRUCTION TYPE..... II B
 BUILDING COVERAGE..... 5000 SF/ 25,625 SF = 19.35%
 UMX - REQUIREMENTS

REQUIRED	PROPOSED
MIN. LOT AREA	N/A
MIN. LOT WIDTH	330 FT
MAX. LOT COVERAGE	20.1%
FRONT BUILDING SETBACK	0'
SIDE BUILDING SETBACK	0'
MAX. BLDG HEIGHT	34.5'
18' EAVE HEIGHT	40'

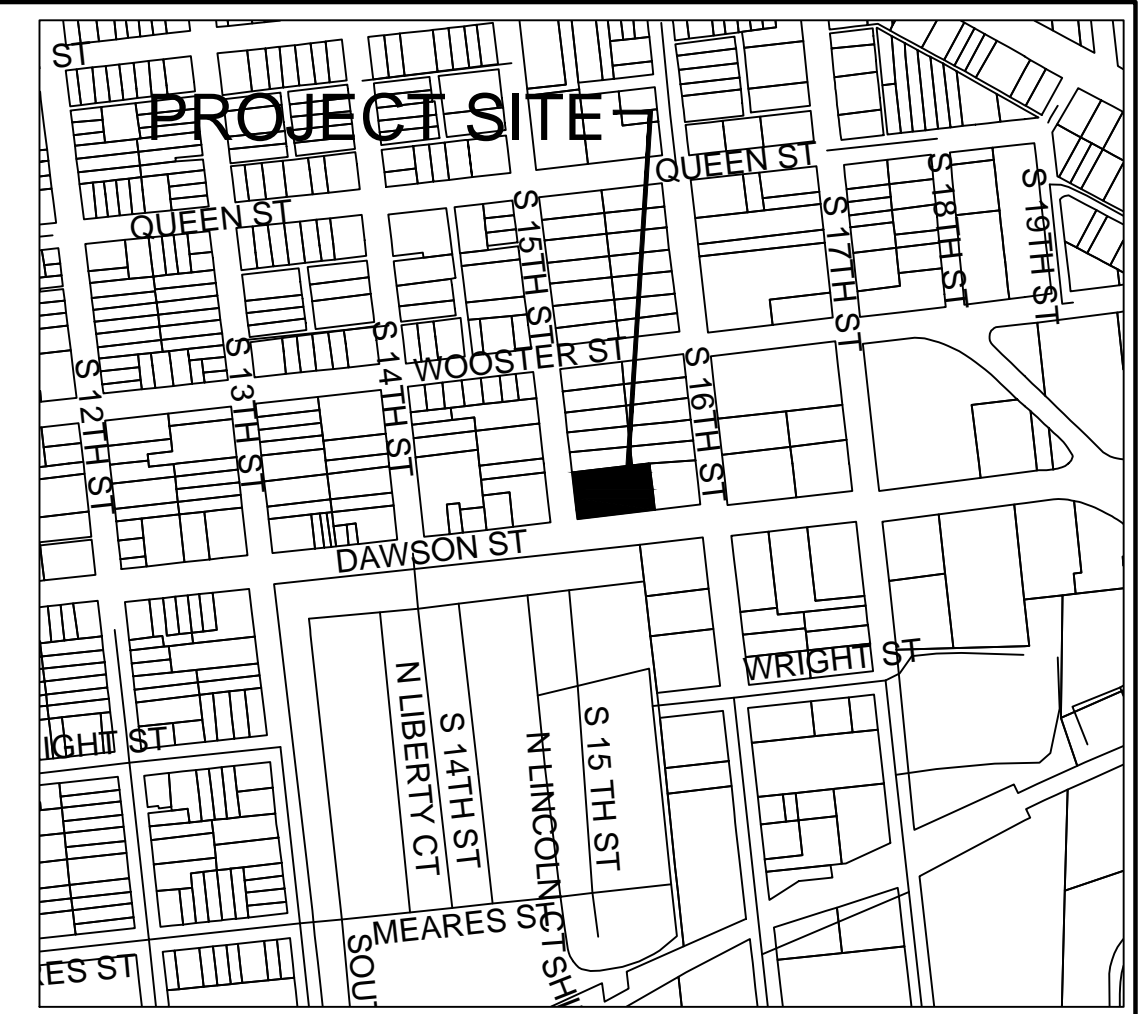
NO MINIMUM PARKING REQUIREMENTS PER UMX
 PARKING PROVIDED 20 REGULAR + 2 HIC = 22 TOTAL
 BICYCLE PARKING
 6 PROVIDED

PROPOSED BUA
 SEE TABLE BELOW
 LIMITS OF DISTURBANCE = 27,322 SF
 SOLID WASTE
 SOLID WASTE DISPOSAL WILL BE A DUMPSTER, SCREENING VIA 8' SHADOW BOX FENCE.
 UTILITY INFORMATION
 WATER: 000 GPD (CURRENT USE)
 WATER: 8,000 GPD (PROPOSED USE)
 USE BASED ON SIMILAR FACILITY IN JACKSONVILLE BY SAME OWNER
 SEWER: 000 GPD (CURRENT USE)
 SEWER: 8,000 GPD (PROPOSED USE)
 STORMWATER CLASSIFICATION
 RECEIVING STREAM: MINERAL SPRINGS BRANCH
 RIVER BASIN: CAPE FEAR
 STREAM INDEX NUMBER: 18-74-63.2-1
 WATER CLASSIFICATION: C:SW
 HVAC EQUIPMENT TO BE MOUNTED ON ROOF.
 FLOOD INFO
 ZONE X - MINIMAL RISK
 PANEL 3127
 MAP NUMBER #3720312700J
 5/2006

BUA Summary - 1507 Dawson Street

Existing	
Ex. Buildings	1128
Ex. Concrete	1865
Ex. Gravel	16366
TOTAL EX. BUA	19359 sf

Proposed	Impervious	Previous
Pro Building	5000	
Pro Sidewalk	1266	
Pro Dumpster Pad	400	
Pro Parking	0	10956
Total Proposed BUA	6666	10956

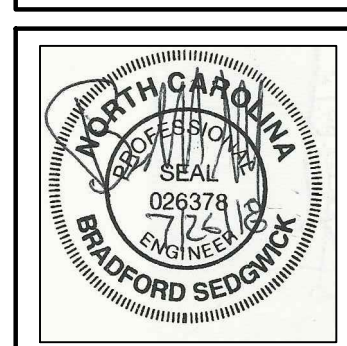


VICINITY MAP
SCALE 1" = 500'

DESIGN BY: BIDS
 DRAWN BY: BIDS
 CHECKED BY: BIDS
 DATE: APRIL, 2018

SITE PLAN
1507 DAWSON STREET
 WILMINGTON, NC

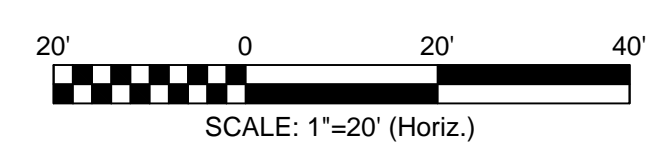
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 C2523
 PLANNING - ENGINEERING - CONSTRUCTION MANAGEMENT

SHEET
C2
 of X
 JOB NO. 032-025

SITE PLAN
SCALE 1" = 20'



Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

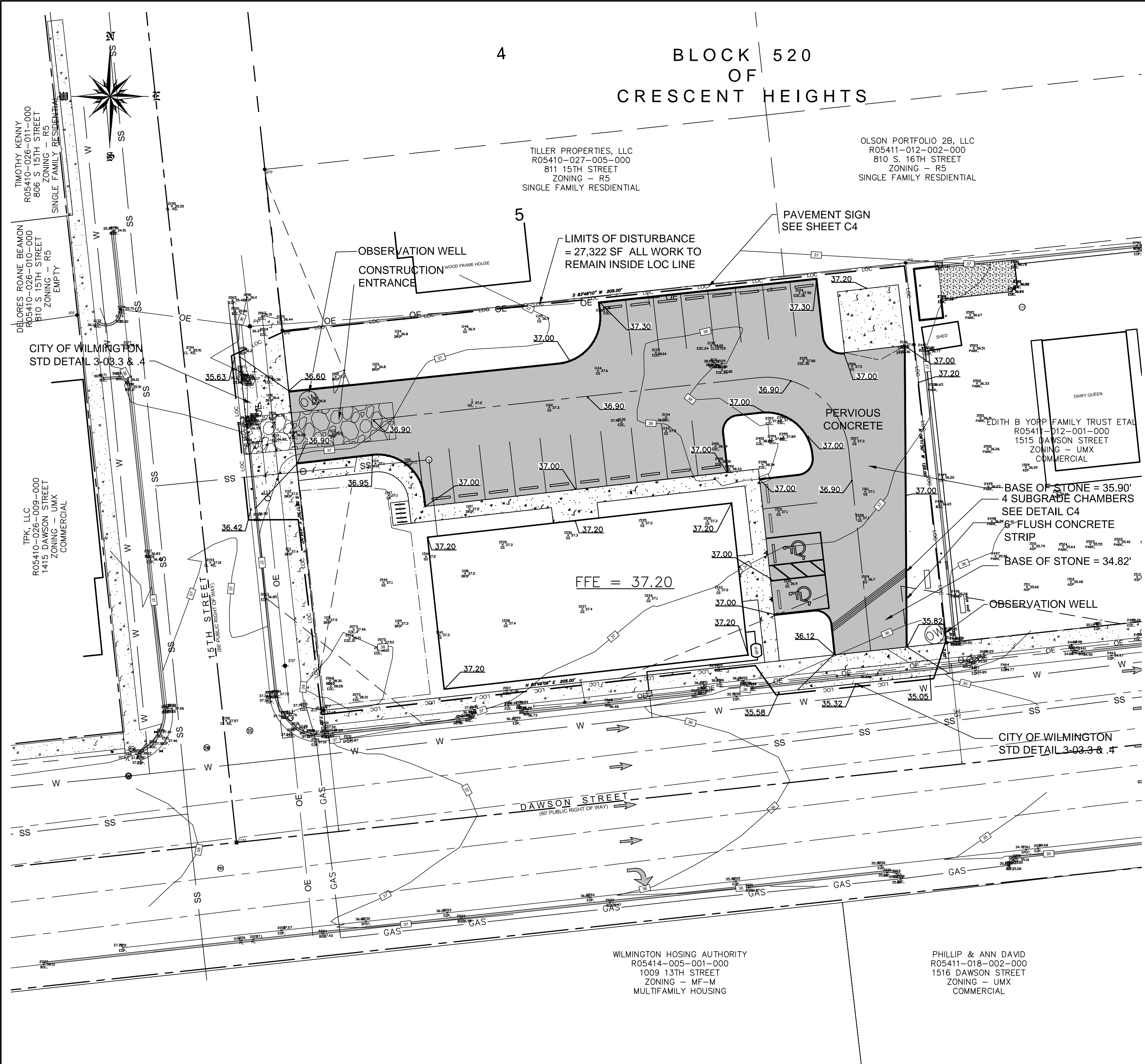
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LEGEND

EXISTING GRAVEL PAVEMENT	
CONC. PAVEMENT	
PERVIOUS CONCRETE	
PROPOSED SPOT ELEVATION	39.20
EXISTING SPOT ELEVATION	36.7
WAVE STYLE BIKE RACK	
TREE PROTECTION FENCING SEE DETAIL	
BUILDING GUTTER & DOWN SPOUT SYSTEM - SURFACE DISCHARGE TOWARD PAVEMENT	

REVISION	DATE	DESCRIPTION
R1	7/26/18	ADDRESSED B1318 TRC COMMENTS

4 BLOCK 520 OF CRESCENT HEIGHTS



LABEL	1) GROUND STABILIZATION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
[Cross-hatch pattern]	PERIMETER DIKES, DITCHES AND SLOPES	7 DAYS	NONE
	HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
	SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1 14 DAYS ARE ALLOWED
[Diagonal line pattern]	SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
	ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

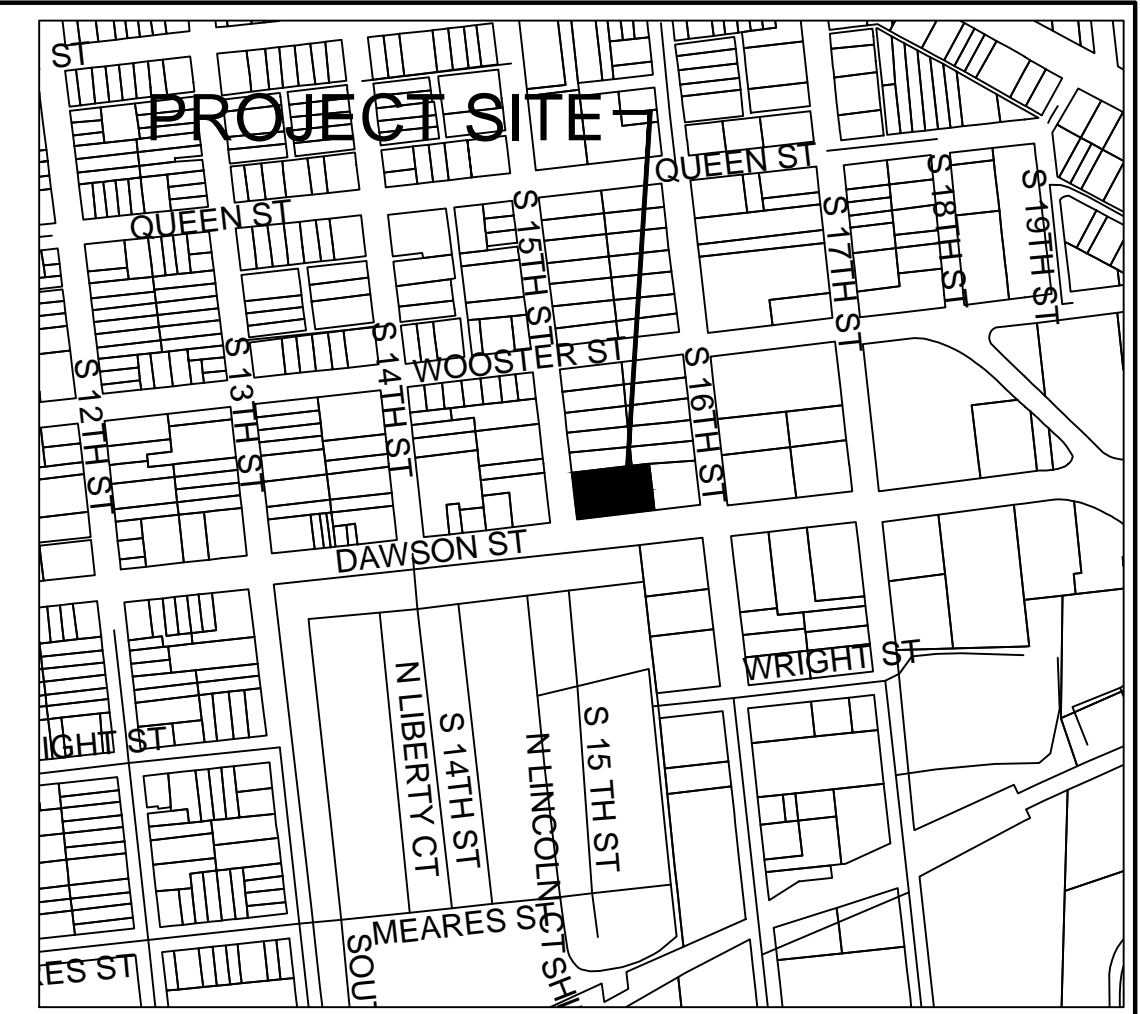
- 2) BUILDING WASTES HANDLING
- NO PAINT OR LIQUID WASTES IN STREAM OF STORM DRAINS
 - DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE
 - LEATHER-MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE
 - CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.

- 3) INSPECTIONS
- SAME WEEKLY INSPECTION REQUIREMENTS
 - SAME RAIN GAUGE & INSPECTIONS AFTER 0.5" RAIN EVENT
 - INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS"
 - INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED
 - RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST
 - ELECTRONICALLY-AVAILABLE RECORDS MAY BE SUBSTITUTES UNDER CERTAIN CONDITIONS

- 4) SEDIMENT BASINS
- OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACES UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE
 - USE ONLY DWS-APPROVED FLOCCULANTS

NPDES - SPECIFIC PLAN SHEET NOTES

1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG000000.
2. THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG000000 ONLY.
3. THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG000000.
4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE PLANS AND IT IS NOT PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE CITY CODE.



VICINITY MAP SCALE 1" = 500'

GRADING NOTES

1. INITIATE EROSION CONTROL SEQUENCE BEFORE BEGINNING CLEARING, GRUBBING AND GRADING OPERATIONS.
2. CLEAR AREAS TO BE GRADED OF ALL VEGETATION. PROTECT VEGETATION BEYOND GRADING LIMITS.
3. STRIP TOPSOIL TO FULL DEPTH IN AREAS TO BE GRADED AND STOCKPILE.
4. COMPACT ALL FILL AREAS TO 95% OF MAXIMUM DENSITY.
5. ALL BANKS AND SWALE SIDE SLOPES SHALL BE GRADED WITH NO GREATER THAN 3:1 SLOPES.
6. ALL AREAS ARE TO BE GRADED SO THAT NO AREAS OF STANDING WATER OCCUR.
7. PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADE.
8. OPERATOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTIONS INDICATED ON THE PLAN.

CONSTRUCTION SEQUENCE

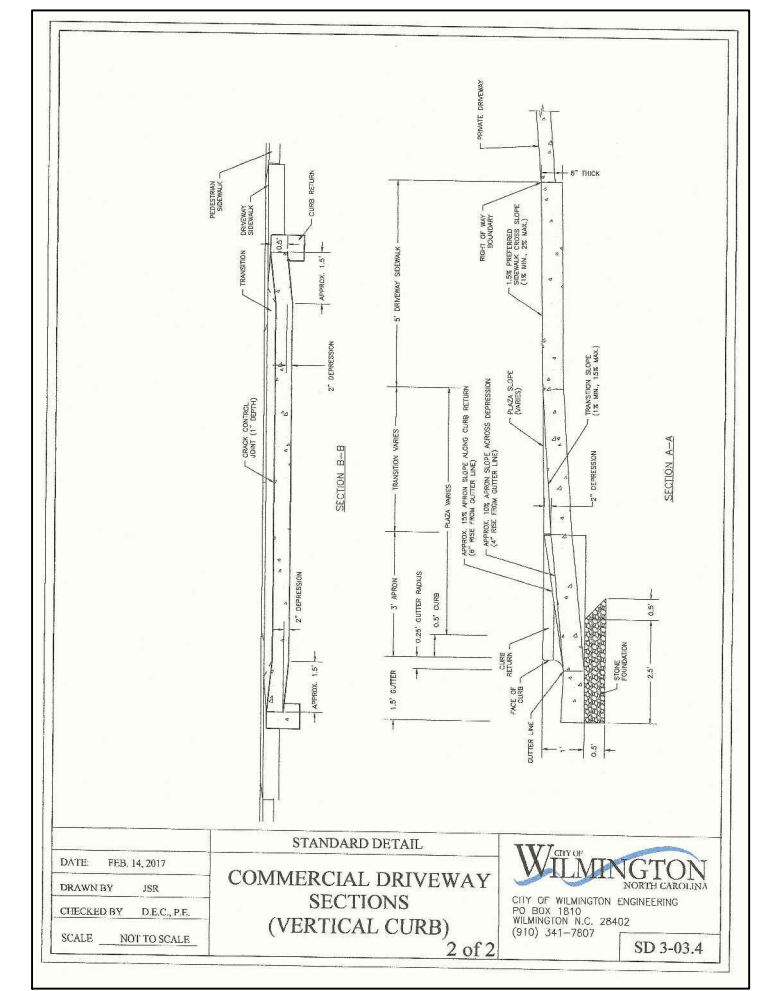
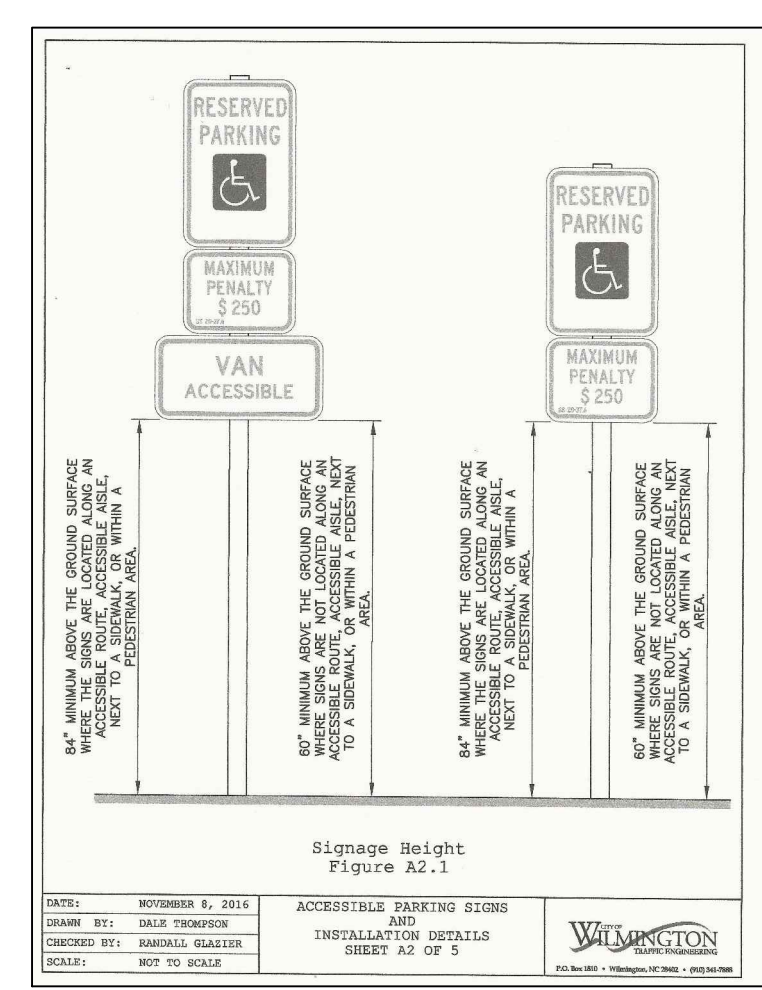
1. A SEDIMENTATION & EROSION CONTROL PERMIT IS NOT REQUIRED FOR THIS PROJECT. REGARDLESS THE CONTRACTOR SHALL FOLLOW ALL MEASURES AS SHOWN ON THIS PLAN.
2. N/A
3. INSTALL GRAVEL CONSTRUCTION ENTRANCE AND SILT FENCE, COMMENCE CLEARING AND ROUGH GRADING OPERATIONS.
4. ROUGH GRADE SITE AND INSTALL UNDERGROUND UTILITIES.
5. PROVIDE TEMPORARY PROTECTION MEASURES AND DEVICES AS REQUIRED UNTIL UNDERGROUND UTILITIES AND PAVEMENT SECTION IS COMPLETE AND FINAL GRADES ARE STABILIZED WITH TEMPORARY VEGETATIVE COVER.
6. STABILIZE (FERTILIZE, SEED, AND MULCH) ALL DISTURBED AREAS AS SOON AS FINAL GRADES ARE ESTABLISHED.
7. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS ARE STABILIZED, REMOVE TEMPORARY EROSION CONTROL MEASURES.

EROSION CONTROL MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF - PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
3. GRAVEL CONSTRUCTION ENTRANCE TO BE CLEANED WHEN SEDIMENT ACCUMULATIONS ARE VISIBLE OR SEDIMENT IS DEPOSITED ON THE ASPHALT AND STONE WILL BE PERIODICALLY TOP DRESSED WITH 2 INCHES OF #4 STONE TO MAINTAIN 6 INCH DEPTH.
4. INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1" OR GREATER) RAINFALL EVENT. CLEAR THE WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.
5. ALL AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

EROSION CONTROL NOTES

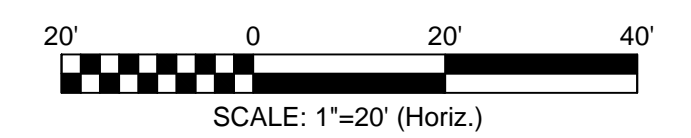
1. ANY CONSTRUCTION ACTIVITY BEYOND THE 0.51 ACRE LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO FINES.
2. CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN ROAD RIGHT OF WAYS UNLESS OTHERWISE DESIGNATED TO REMAIN.
3. CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITH IN THE LIMITS OF CONSTRUCTION.
4. CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY UNSUITABLE SOILS.
5. CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
6. THE CONTRACTOR SHALL FURNISH ANY REQUIRED BORROW MATERIALS FROM A PROPERLY PERMITTED OFF-SITE FACILITY.
7. ALL GRADED SLOPES MUST BE SEED AND MULCHED WITHIN 21 CALENDAR DAYS OF COMPLETION OF GRADING, STABILIZE AREAS OTHER THAN SLOPES WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS, WHICHEVER IS SHORTER.
8. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE COUNTY ENGINEERING DEPARTMENT.
9. SLOPES SHALL BE GRADED NO STEEPER THAN 3:1.
10. ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED UPON BY THE FIELD INSPECTOR, ENGINEER, AND OWNER.
11. IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 15 CALENDAR DAYS, ALL DISTURBED AREAS MUST BE SEED, MULCHED, AND TACKED.



GRADING, DRAINAGE & EROSION CONTROL SCALE 1" = 20'

LEGEND

EXISTING GRAVEL PAVEMENT	[Pattern]
CONC. PAVEMENT	[Pattern]
PERVIOUS CONCRETE	[Pattern]
PROPOSED SPOT ELEVATION	39.20
EXISTING SPOT ELEVATION	35.6, 36.7
WAVE STYLE BIKE RACK	[Symbol]
TREE PROTECTION FENCING SEE DETAIL	[Symbol]
BUILDING GUTTER & DOWN SPOT SYSTEM - SURFACE DISCHARGE TOWARD PAVEMENT	[Symbol]



APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name	Date

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DESIGN BY: BDS
 DRAWN BY: BDS
 CHECKED BY: BDS
 DATE: APRIL, 2018

GRADING, DRAINAGE & EROSION CONTROL

1507 DAWSON STREET
 WILMINGTON, NC

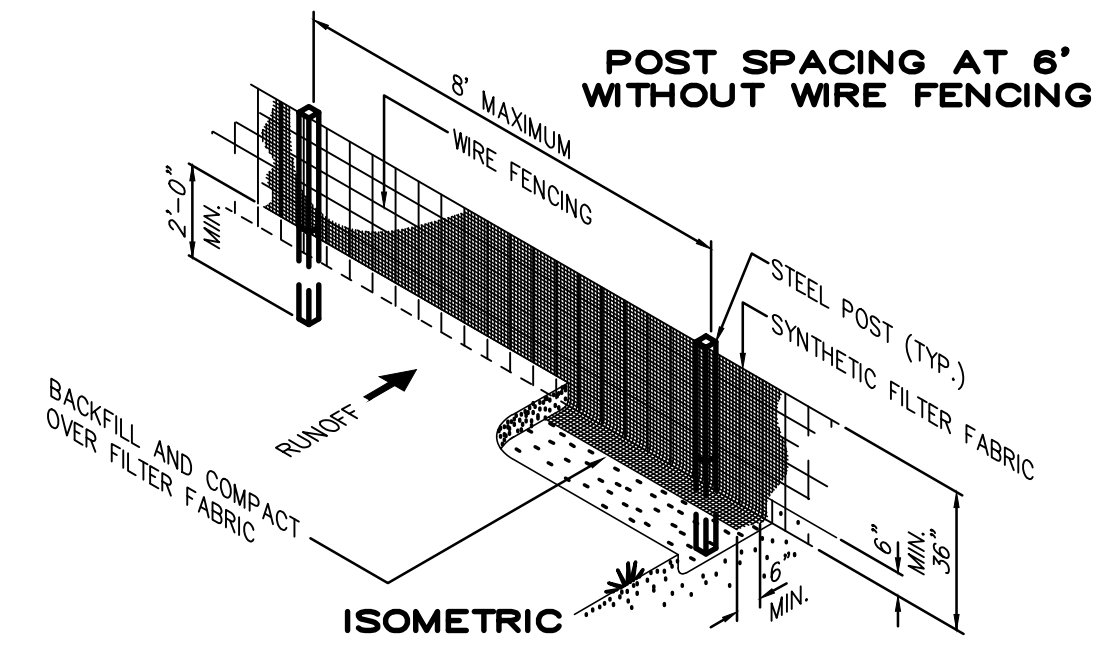
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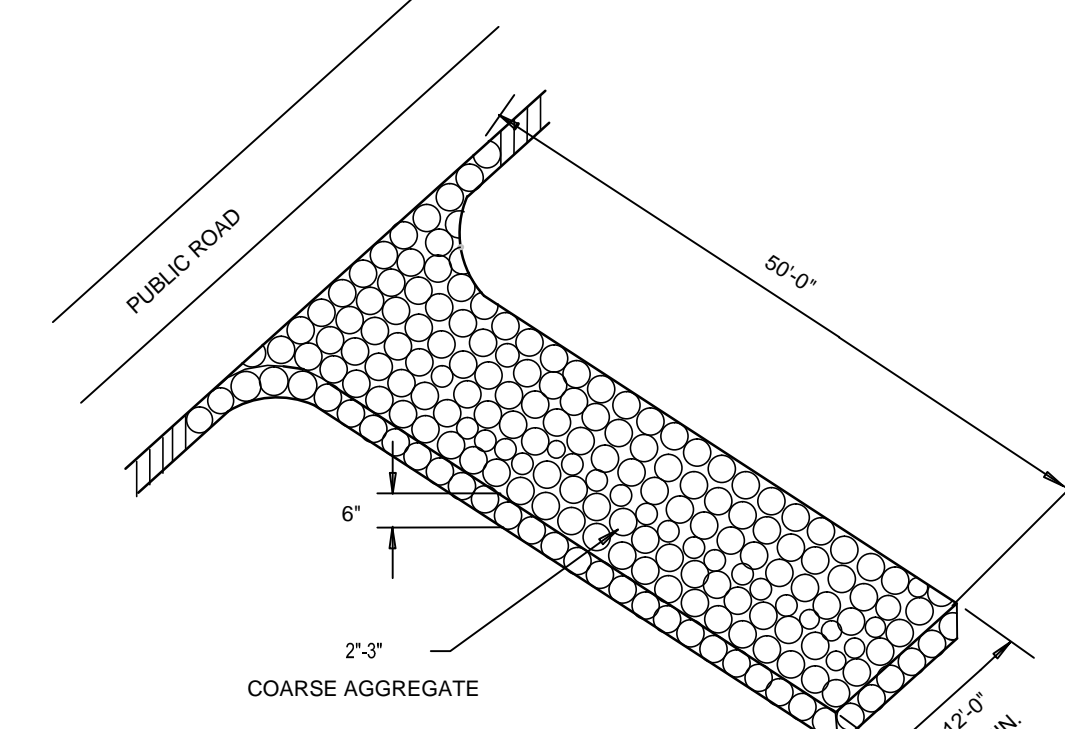
PLANNING - ENGINEERING - CONSTRUCTION MANAGEMENT

SHEET **C3** of X

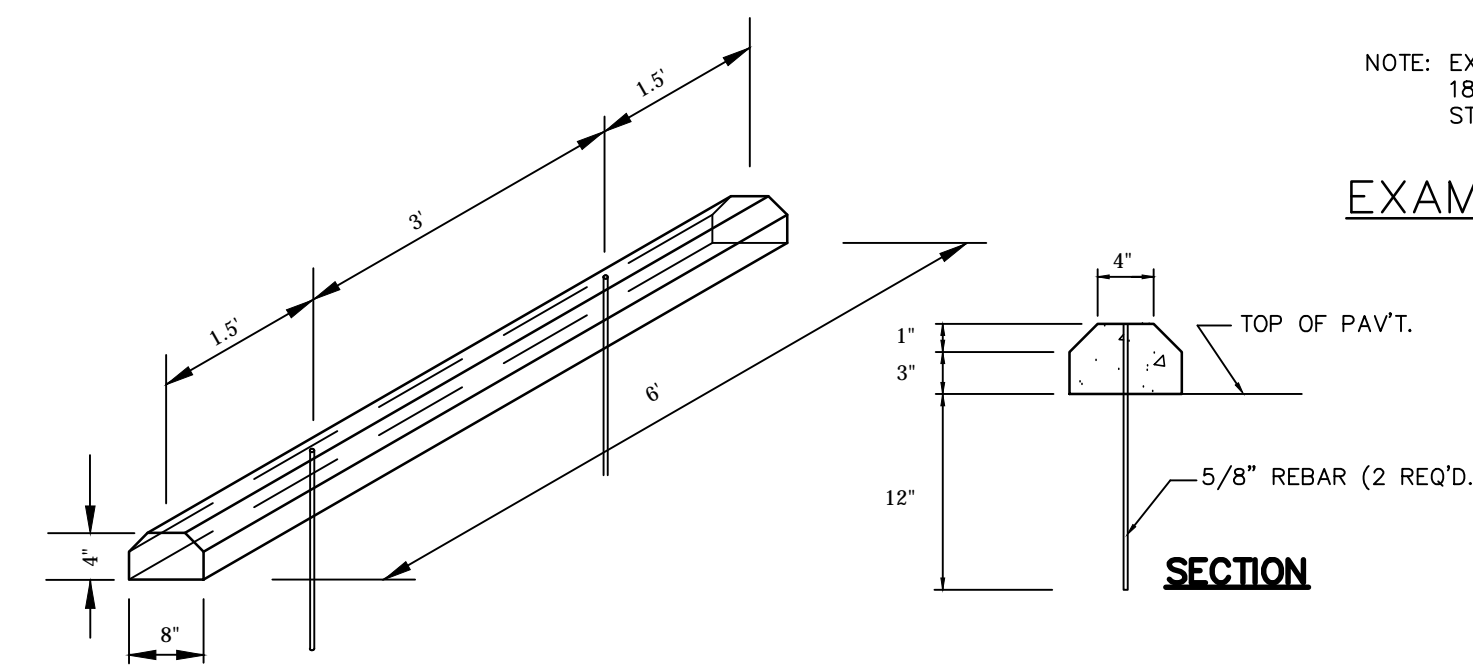
JOB NO. 032-025



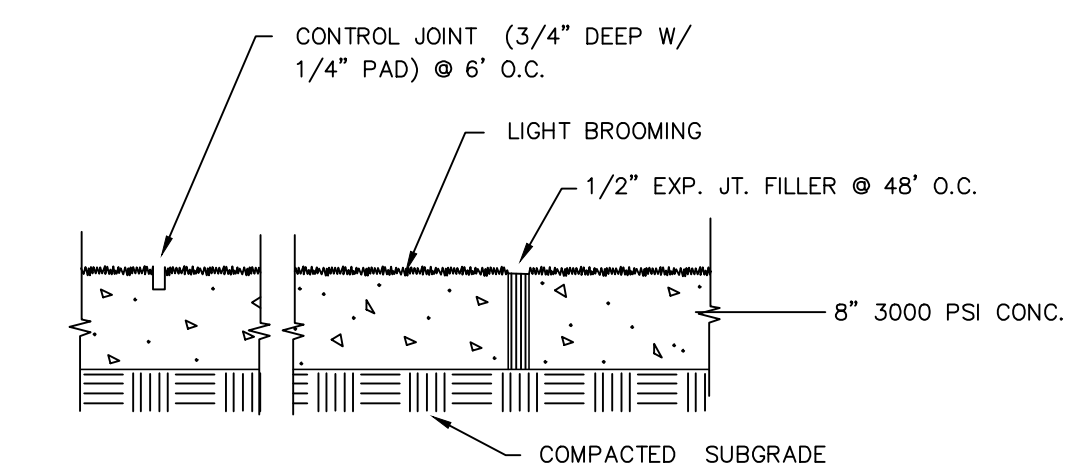
SILT FENCE DETAIL
NOT TO SCALE



CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE

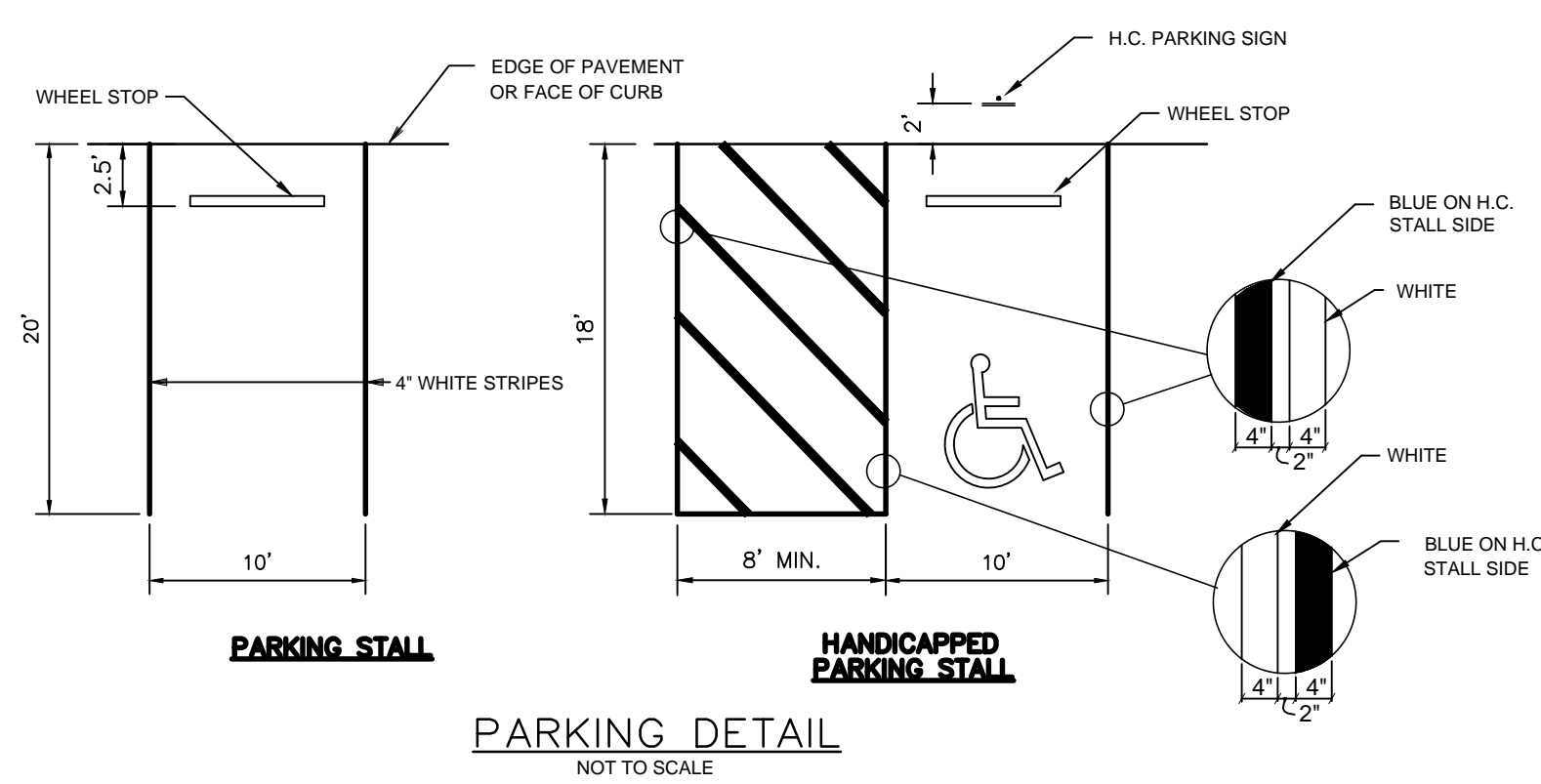


WHEEL STOP DETAIL
NOT TO SCALE



NOTES: ALL EDGES TO BE EDGED W/ 1/4" PAD

CONCRETE SECTION
NOT TO SCALE
DUMPSTER PAD



PARKING DETAIL

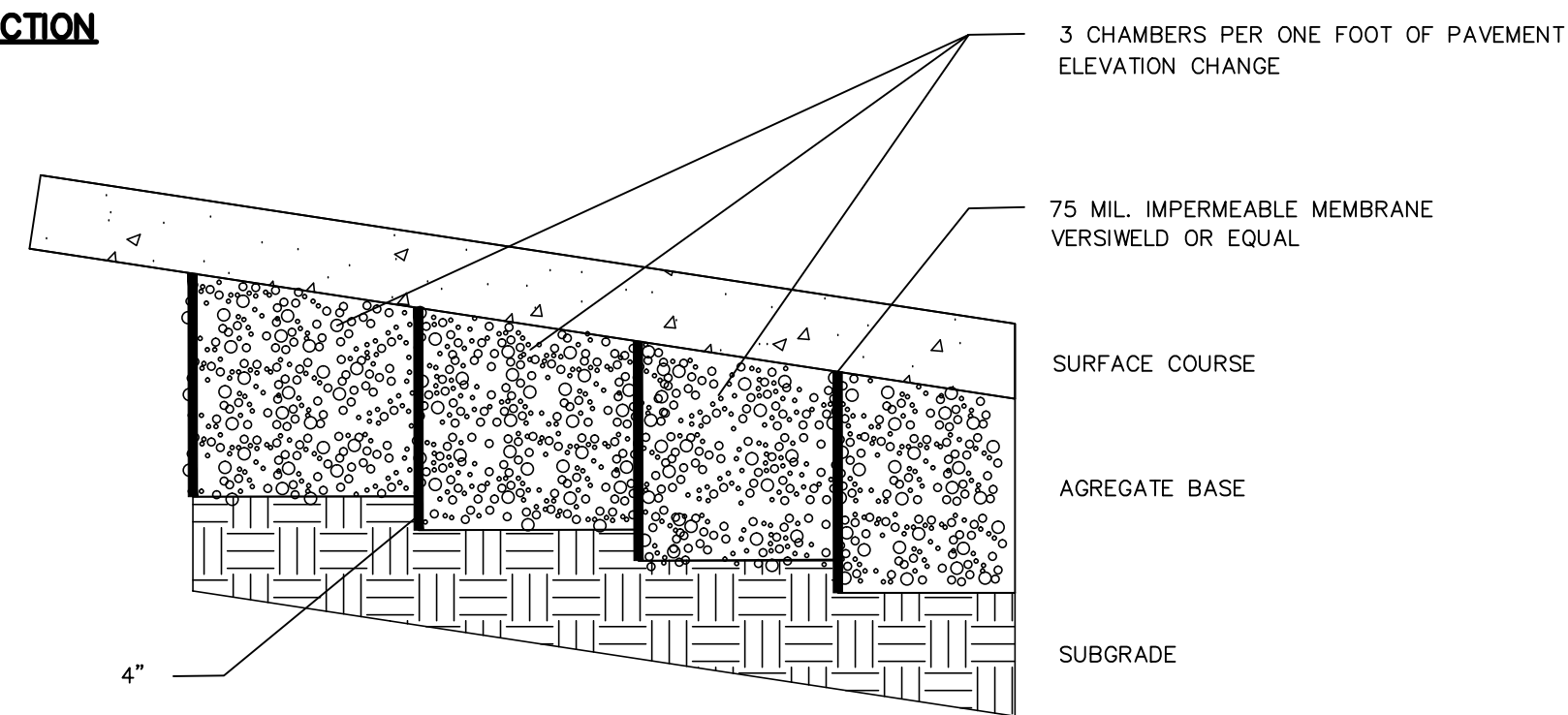
HANDICAPPED PARKING DETAIL

PERMEABLE PAVEMENT

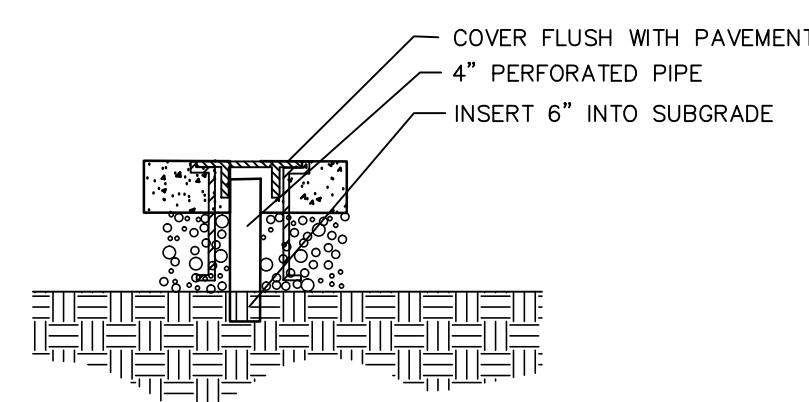
ACTIVITIES PROHIBITED:
 SANDING
 RE-SEALING
 RE-SURFACING
 POWER WASHING
 STORAGE OF MULCH OR SOIL
 STORAGE OF SNOW PILES
 STORAGE OF HEAVY LOADS
 APPLICATION OF SALT OR DE-ICERS

NOTE: EXAMPLE OF SIGN TO BE PLACED WHERE SHOWN ON THE PLANS. SIGN 18" X 24" ON STANDARD METAL BACKING AND MOUNTED WITH STANDARD STREET SIGN MATERIALS AND METHODS.

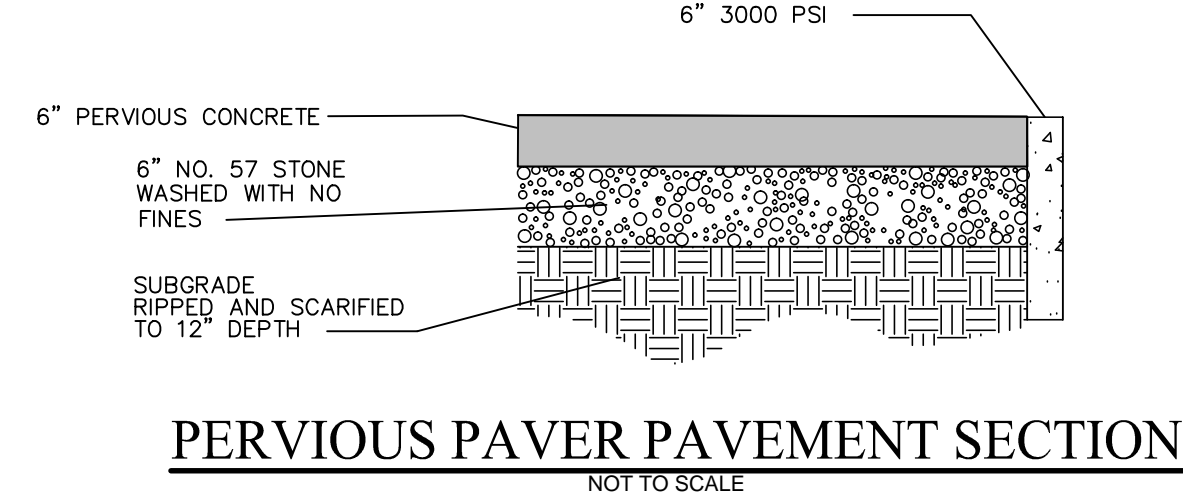
EXAMPLE PERMEABLE PAVEMENT SIGN
NOT TO SCALE



PERVIOUS CONCRETE SUBGRADE SLOPE
NOT TO SCALE



OBSERVATION WELL
NOT TO SCALE



PERVIOUS PAVER PAVEMENT SECTION
NOT TO SCALE

AGGREGATE DEPTH FOR WATER QUALITY STORM D(WQ)

D(WQ) = DEPTH OF AGGREGATE REQUIRED

P = DEPTH OF DESIGN STORM (INCHES)
 R = A(A)/A(P) - RATIO OF IMPERVIOUS BUA TO PERMEABLE PAVEMENT
 N = PERCENT VOIDS IN GRAVEL AGGREGATE (40%)

$$D(WQ) = \frac{P(1+R)}{N}$$

P	A(A)	A(P)	R	N	D(WQ)
1.5	6682	13843	0.48	0.4	6

STANDARD DETAIL
SIDEWALK

NOTES:

- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
- SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
- MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
- CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
- MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL
- 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
- MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
- MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
- MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 3-10

STANDARD DETAIL
COMMERCIAL DRIVEWAY PLAN (VERTICAL CURB)

CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 3-03.3

STANDARD DETAIL
COMMERCIAL DRIVEWAY SECTIONS (VERTICAL CURB)

CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 3-03.4

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name	Date
Planning	_____
Traffic	_____
Fire	_____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NUMBER	DATE	REVISION
R1	7/26/18	ADDRESSED 6/13/18 TRC COMMENTS

DESIGN BY: BDS
 DRAWN BY: BDS
 CHECKED BY: BDS
 DATE: APRIL, 2018

DETAILS

1507 DAWSON STREET
 WILMINGTON, NC

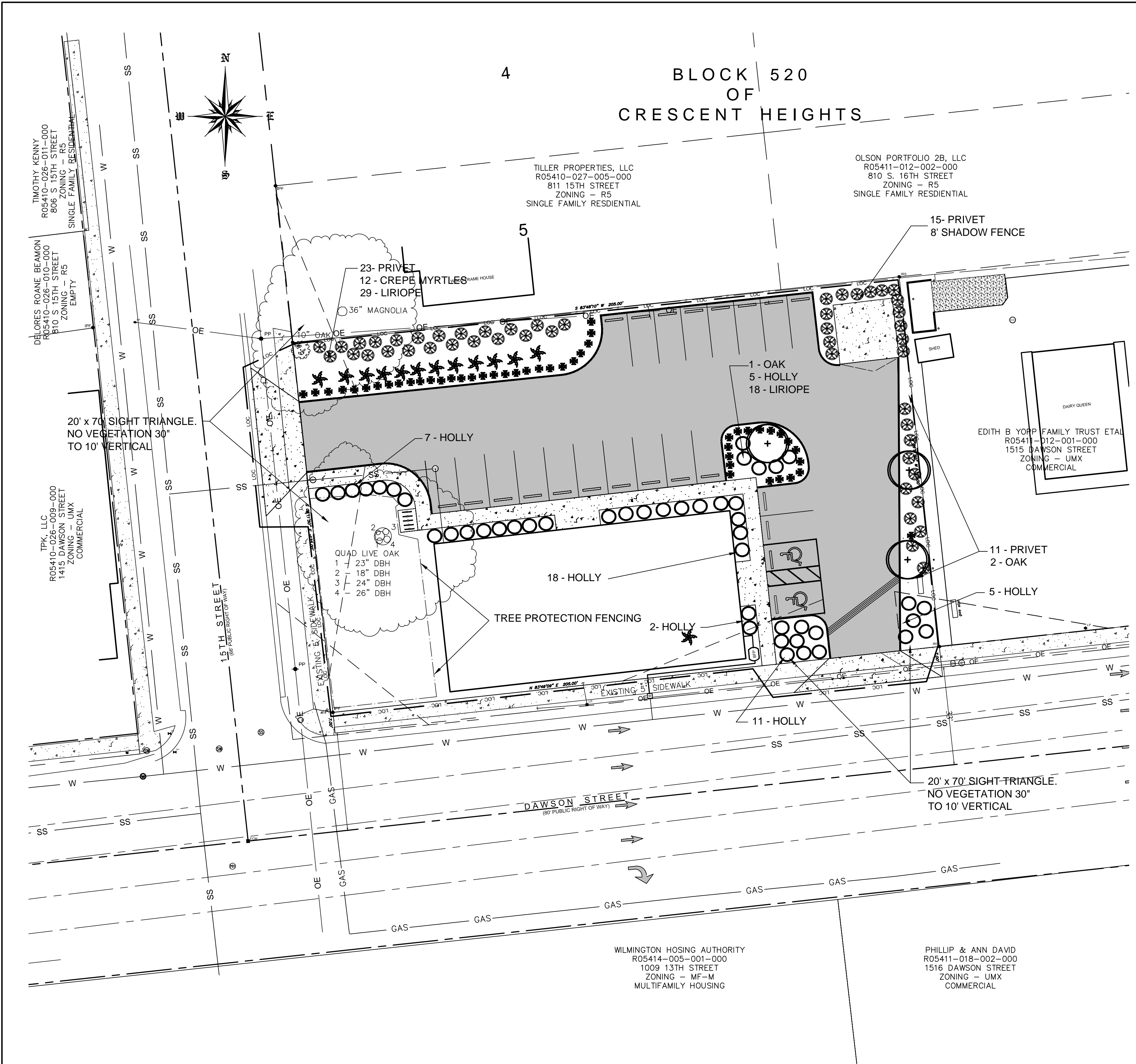
OWNER/DEVELOPER
 MR. RODNEY WILLIFORD
 RK W PROPERTIES, LLC
 7986 HWY 11 BUSINESS
 BETHEL, NC 27812
 1-252-714-5838

CONSULTING, PA
 7332 Colesworth Drive
 Wilmington, NC 28405
 (910) 619-9990
 LICENSE NUMBER C2523
 PLANNING - ENGINEERING - CONSTRUCTION MANAGEMENT

JBS

SHEET
C4
 of X

JOB NO. 032-025



LANDSCAPE DATA

THIS PROJECT IS IN SUPPORT OF AN ADDITION TO AN EXISTING FACILITY BUILT IN 1992. COUNTY LANDSCAPE REQUIREMENTS WERE NOT AS RESTRICTIVE AS TODAY'S STANDARDS. THIS LANDSCAPE PLAN AS PRESENTED IS AN ATTEMPT TO BRING THE SITE UP TO CURRENT STANDARDS WITHIN THE FOOTPRINT OF THE EXISTING FACILITY.

STREET YARD LANDSCAPING

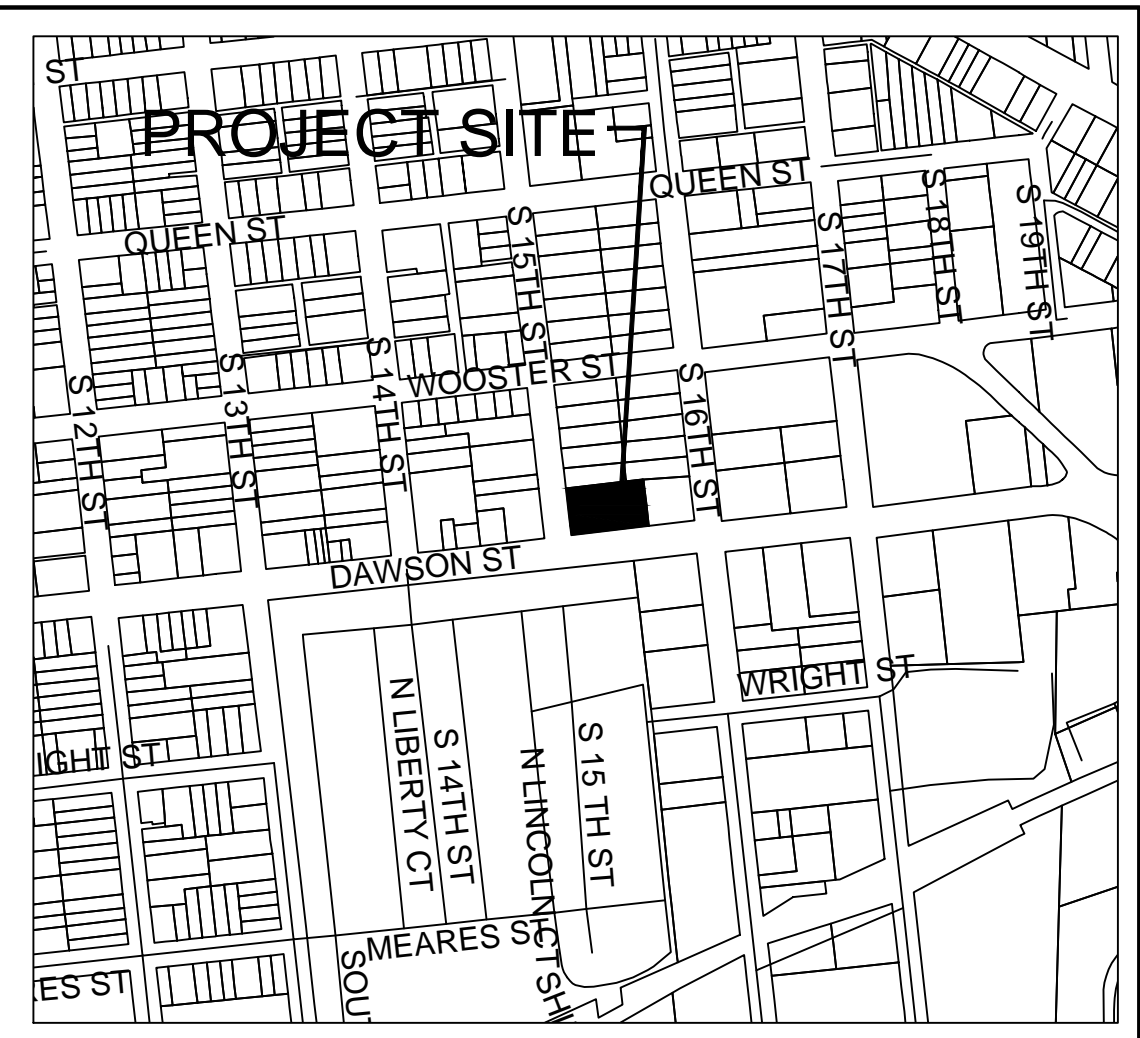
THREE LANDSCAPE ISLANDS ADDED ALONG COLLEGE ROAD = 666 SF
 300 SF = 1 CANOPY/SHADE TREE + 6 SHRUBS REQUIRED
 PROVIDED 666 SF/300 SF = 3 CANOPY OR SHADE TREE + 18 SHRUBS

FOUNDATION PLANTINGS

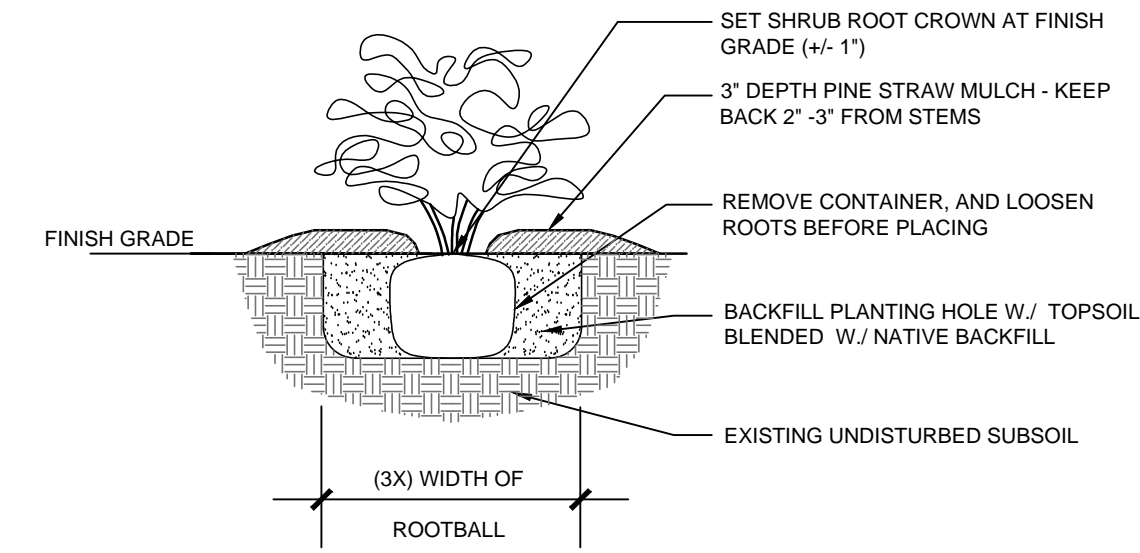
EXISTING FRONTAGE IS PREVIOUSLY PLANTED WITH SHRUBS. ADDITIONAL FRONTAGE OF THE EXPANSION IS ADDRESSED WITH THE ADDITION OF 6 HOLLY BUSHES.

PARKING INTERIOR

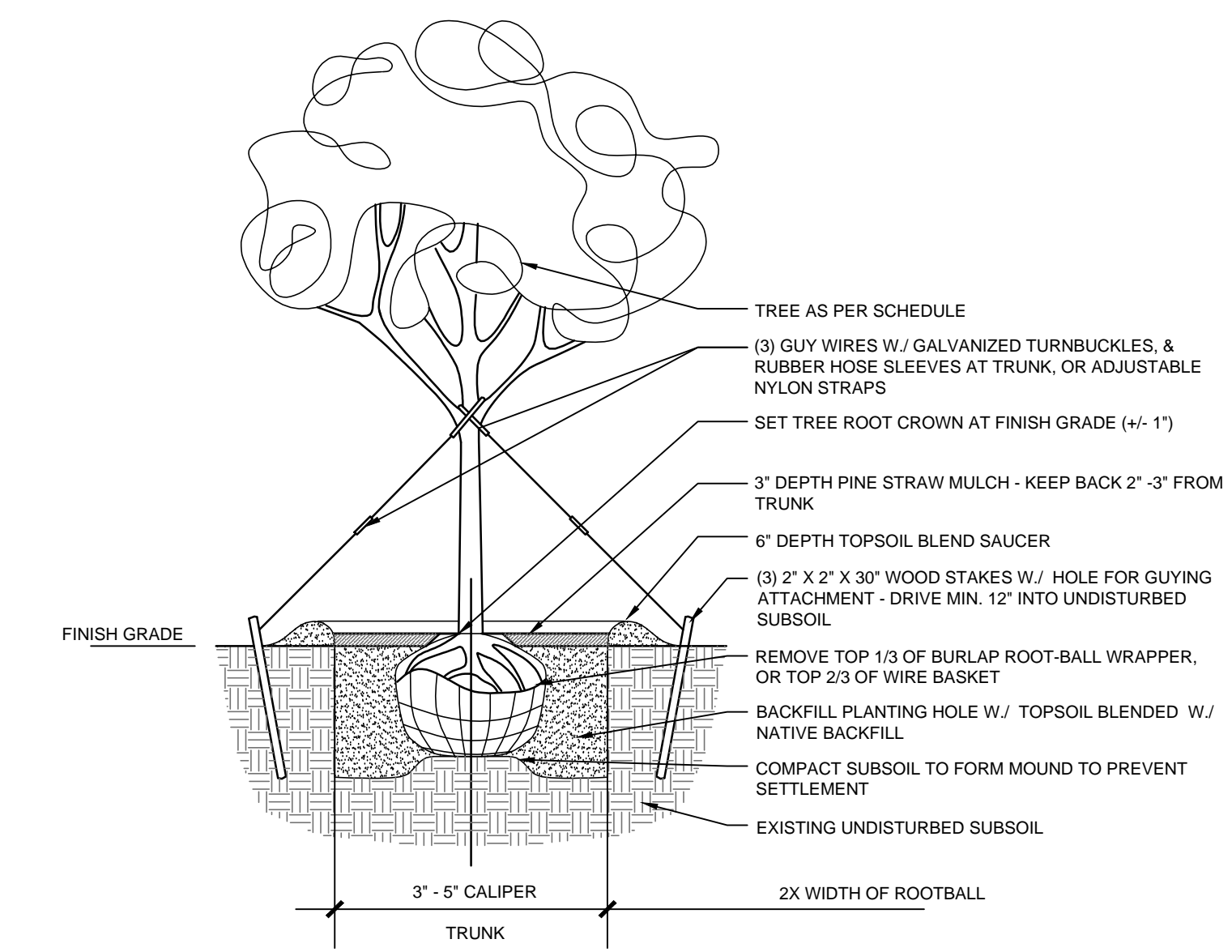
THE EXISTING PARKING LOT = 11,043 SF. WITH THE REMOVAL OF ASPHALT AND CONVERTING INTO LANDSCAPE AREA LEAVES 10,030 SF. 8% @ THIS = 802 SF REQUIRED.
 PROPOSED = 1,013 SF (NEW ISLANDS).



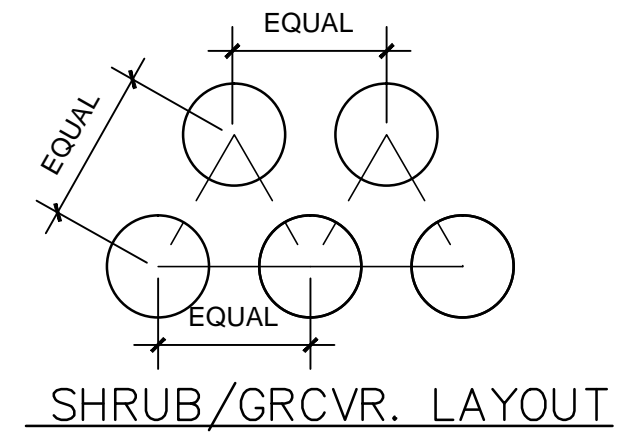
VICINITY MAP
SCALE 1" = 500'



SHRUB/GRCVR. PLANTING DETAIL
N.T.S.



TREE PLANTING DETAIL

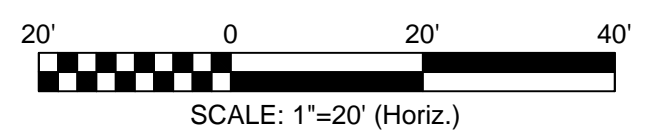


SHRUB/GRCVR. LAYOUT

LANDSCAPE PLAN
SCALE 1" = 20'

PLANTING SCHEDULE			
Common Name	Scientific Name	Size	Qty
LARGE SHADE TREE			
• Sawtooth Oak	<i>quercus acutissima</i>	3" Cal. 10' @ Planting	3
SMALL SHADE TREE			
✱ Crape Myrtle Tuscarora	<i>Lagerstroemia</i>	6' HIGHT	5
SHRUBS			
○ Dwarf Yaupon Holly	<i>Ilex vomitoria "nana"</i>	3 Cal. 12" HIGHT	48
⊗ Common Privet	<i>Ligustrum recurve</i>	3 Cal. 3" HIGHT	20
⊗ Liriope, Big Blue	<i>Liriope muscari</i>	1 Cal.	65

LEGEND	
EXISTING GRAVEL PAVEMENT	
CONC. PAVEMENT	
PERVIOUS CONCRETE	
PROPOSED SPOT ELEVATION	39.20
EXISTING SPOT ELEVATION	36.7
WAVE STYLE BIKE RACK	
SILT FENCE	
BUILDING GUTTER & DOWN SPOUT SYSTEM - SURFACE DISCHARGE TOWARD PAVEMENT	



SCALE: 1"=20' (Horiz.)



Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan	
Name	Date

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DESIGN BY:	BDS
DRAWN BY:	BDS
CHECKED BY:	BDS
DATE:	APRIL, 2018

LANDSCAPE PLAN
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 WILMINGTON, NC

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